

GENERAL NOTES

1. FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS (BOTH VERTICAL & HORIZONTAL) PRIOR TO DEMOLITION AND CONSTRUCTION WORK.
2. FIELD VERIFY EXISTING LOCATIONS AND CONDITION OF PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS: REPAIR, UPGRADE AND RELOCATE AS REQUIRED.
3. FIELD VERIFY FINAL LOCATIONS FOR ALL ELECTRICAL SWITCHES, RECEPTACLES, JUNCTION BOXES AND FIXTURES WITH OWNER & ARCHITECT PRIOR TO INSTALLING CONDUIT.
4. PROTECT ALL LANDSCAPING (SURROUNDING AREAS OF CONSTRUCTION) FROM FALLING DEBRIS, SCAFFOLDING, CONSTRUCTION TRAFFIC, ETC.
5. ALL EXTERIOR JOINTS, SEAMS AND PENETRATIONS IN THE BUILDING ENVELOPE MUST BE SEALED WITH CAULK, TAPE, GASKET, OR WEATHER-STRIPPING TO PREVENT AIR LEAKAGE.
6. VAPOR RETARDERS WITH A PERM RATING OF 1.0 OR LESS MUST BE INSTALLED IN ALL FRAMED CEILINGS, WALLS, AND FLOORS ON WARM SIDE OF THE INSULATION.
7. ALL SUPPLY AND RETURN DUCTS MUST BE SEALED USING MASTIC WITH FIBROUS BACKING TAPE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. (FOR FIBROUS DUCTS, PRESSURE SENSITIVE TAPE MAY BE USED. DUCT TAPE IS NOT PERMITTED).

SCOPE OF WORK:

SCOPE OF WORK INCLUDES THREE INTERIOR BATHROOM RENOVATIONS & UPGRADING WATER SERVICE LINE TO EXISTING LIBRARY BUILDING. AT LEAST ONE PUBLIC BATHROOM MUST BE USEABLE AT ALL TIME. THEREFORE, PUBLIC BATHROOM PROJECT TIMING IS TWO PHASES. 1ST FLOOR BATHROOMS WILL BE RENOVATED FIRST, THEN 2ND FLOOR BATHROOM IS RENOVATED AFTERWARDS.

VILLAGE OF GLENCOE CODE INFORMATION:

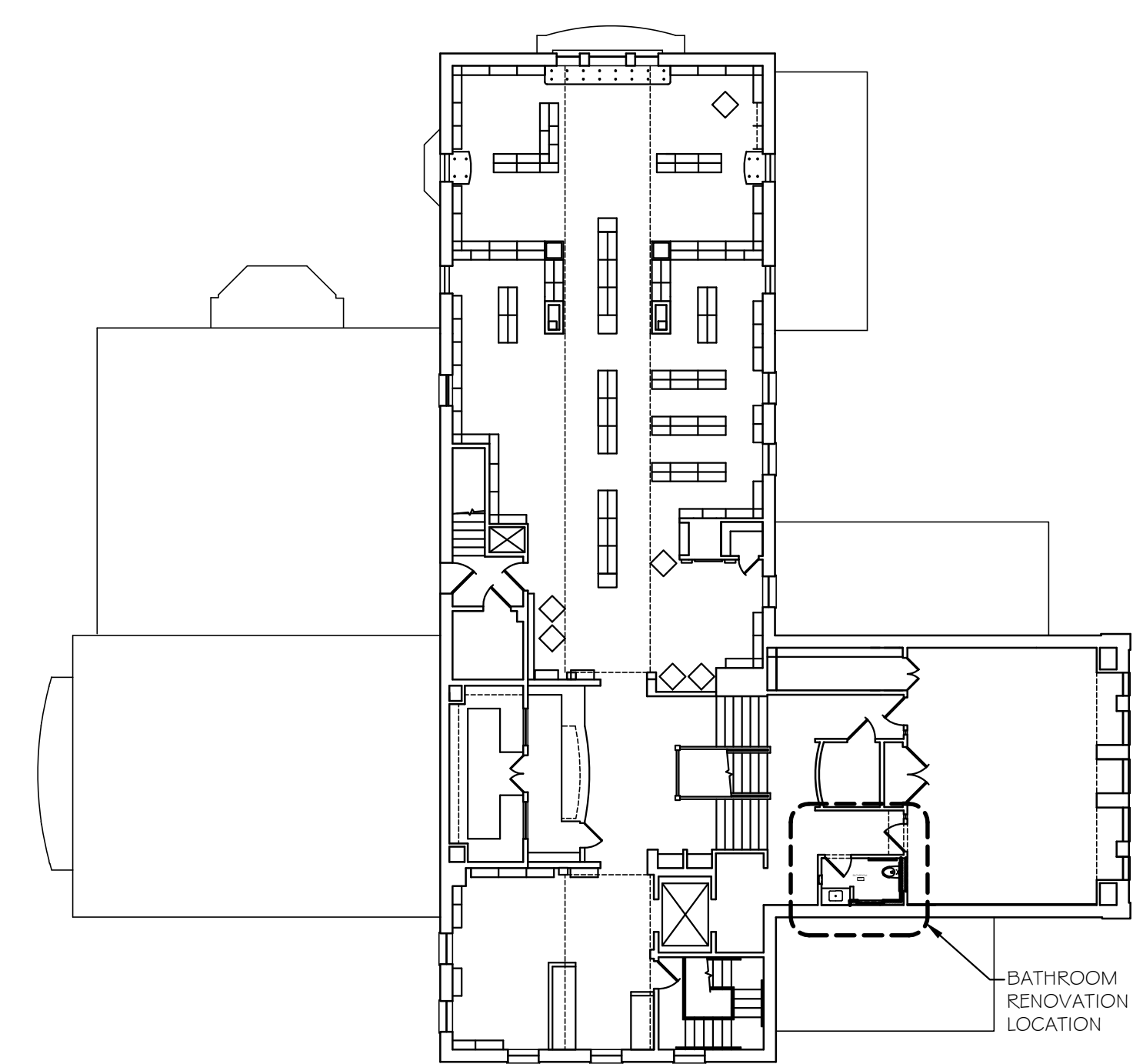
- 2015 ICC INTERNATIONAL RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING CODES, AS AMENDED
- CURRENT EDITION STATE OF ILLINOIS PLUMBING CODE ILLINOIS ACCESSIBILITY CODE, ADOPTED BY STATE LAW
- 2015 ICC INTERNATIONAL ENERGY CONSERVATION CODE, ADOPTED BY STATE LAW
- 2015 LIFE SAFETY CODE
- 2015 ICC INTERNATIONAL FUEL GAS CODE
- 2014 ICC INTERNATIONAL FIRE CODE
- 2014 NATIONAL ELECTRIC CODE
- 2013 FOOD SERVICES SANITATION CODE

ENERGY CONSERVATION CODE:

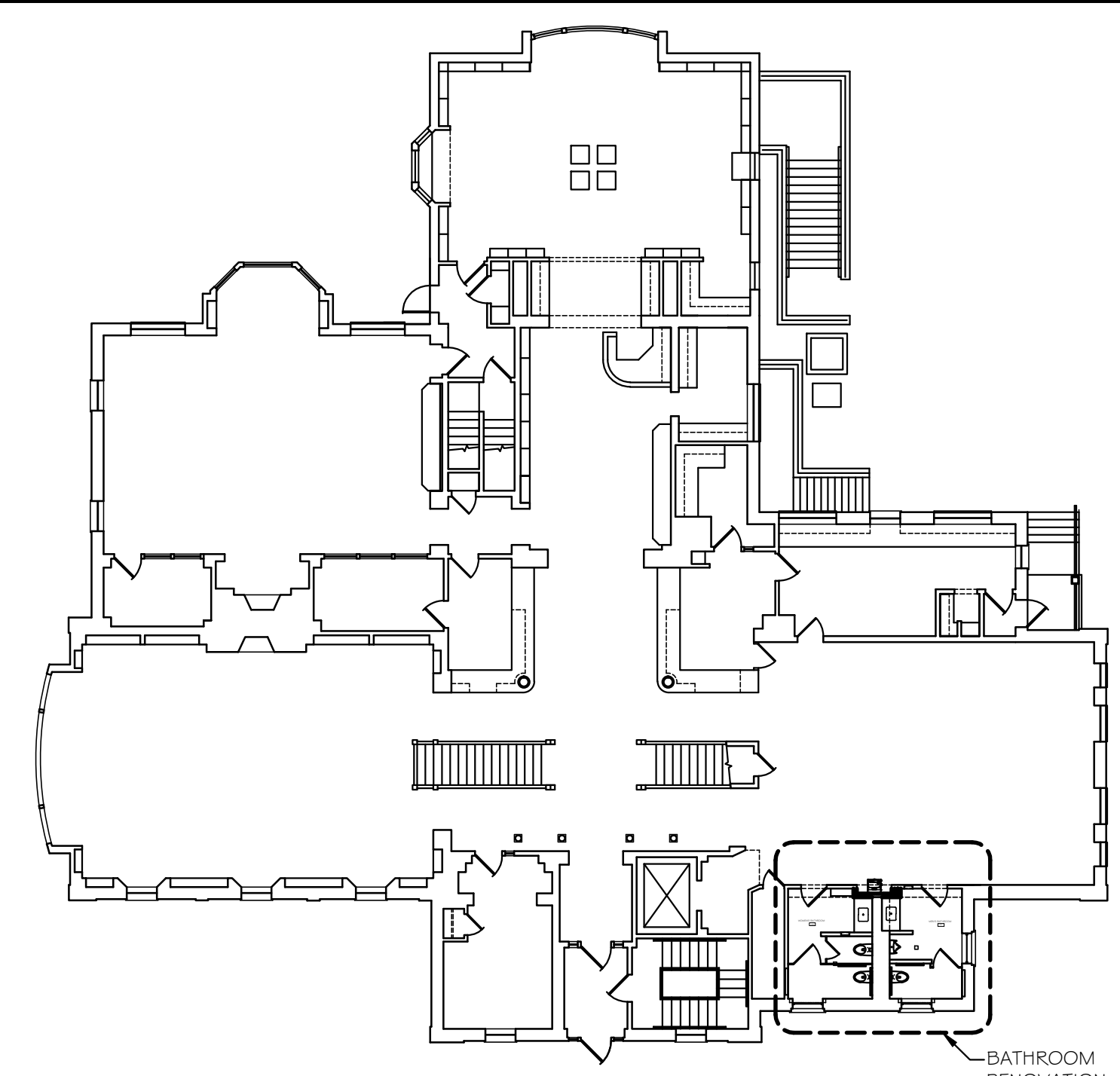
THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE 2015 ICC INTERNATIONAL ENERGY CONSERVATION CODE (IECC). THE LIBRARY IS AN EXISTING BUILDING & THIS PROJECT IS AN INTERIOR ALTERATION. SECTION C503.1 STATES THAT THE FOLLOWING ALTERATIONS NEED NOT COMPLY W/ THE REQUIREMENTS FOR NEW CONSTRUCTION, PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED: (EXCEPTION #3) THE EXISTING CEILING, WALL & FLOOR CAVITIES EXPOSED DURING CONSTRUCTION, PROVIDED THAT THESE CAVITIES ARE FILLED W/ INSULATION. SO THE CONTRACTOR IS TO VERIFY THAT THERE IS INSULATION IN THE EXISTING BATHROOM EXTERIOR CEILINGS & EXTERIOR WALL CAVITIES AFTER DEMOLITION.

DRAWING INDEX

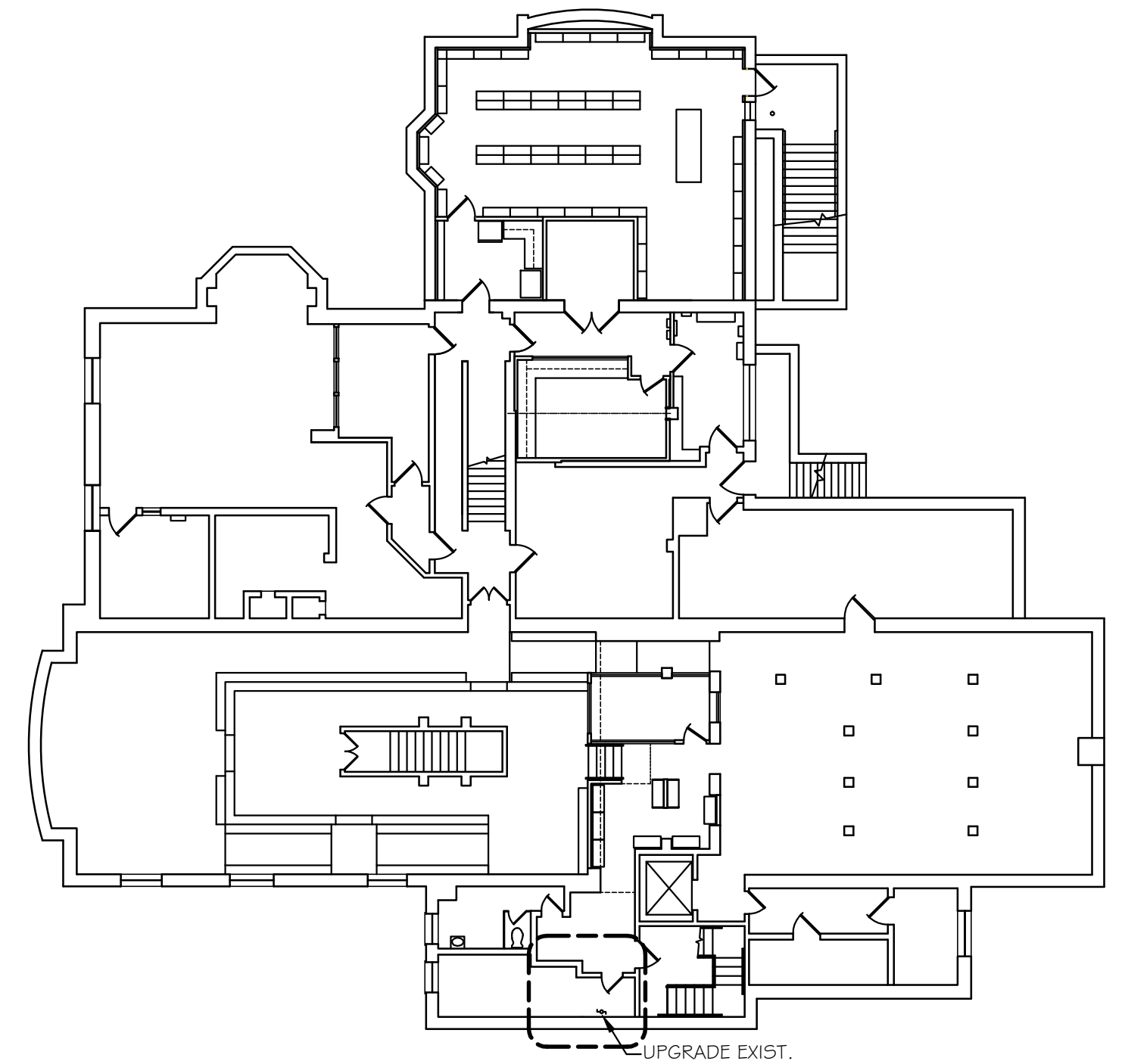
A1	COVER / GENERAL NOTES / KEY PLANS
A2	DEMOLITION & CONSTRUCTION PLANS
A3	FINISH SCHEDULES & FLOOR TILE PLANS
A4	INTERIOR ELEVATIONS
PME 1	P.M.E. PLANS, PLUMBING, MECHANICAL & ELECTRICAL NOTES, RISER DIAGRAM, & PLUMBING LOAD CALCS.



2 2ND FLOOR KEY PLAN
1/16" = 1'-0" N



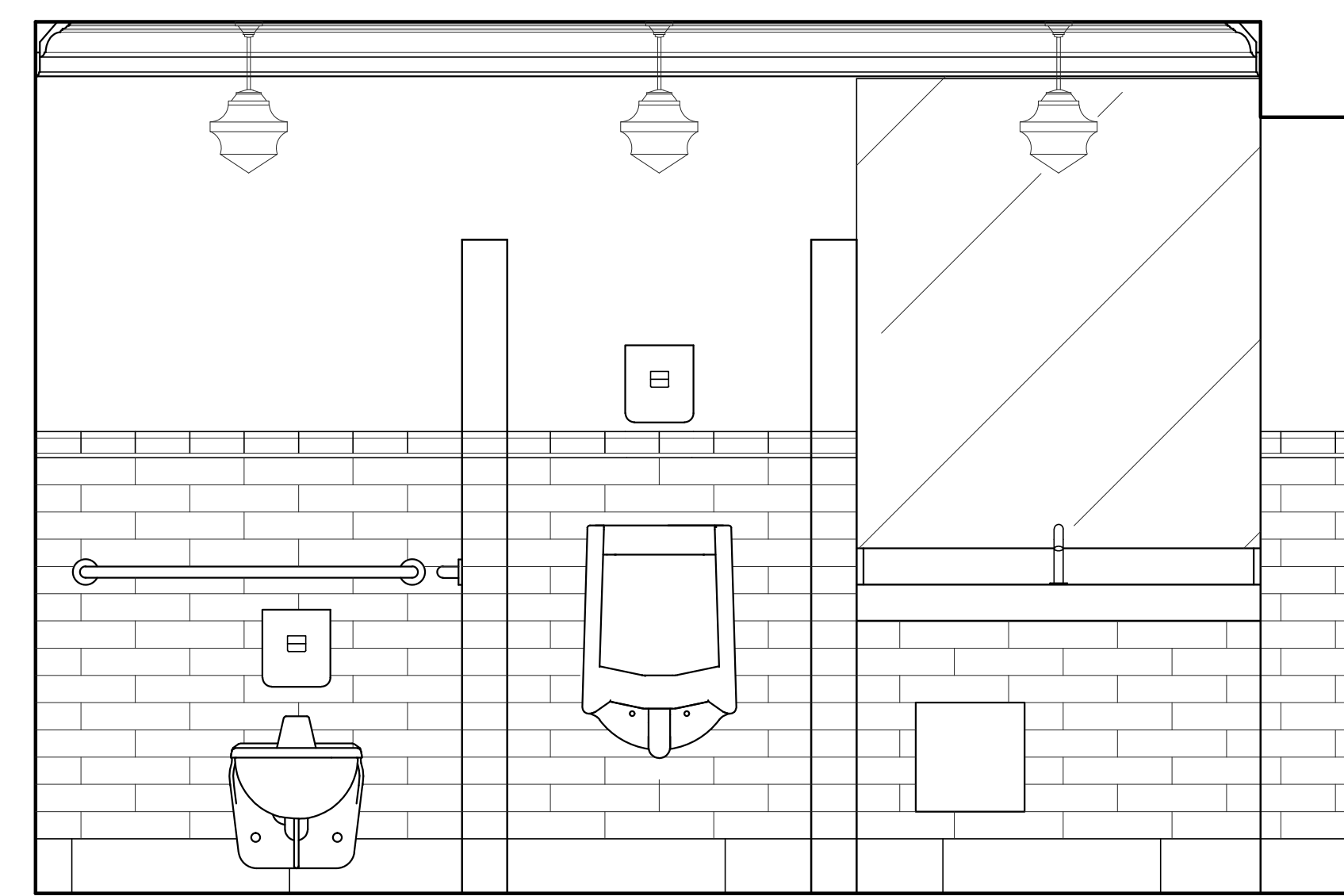
1 1ST FLOOR KEY PLAN
1/16" = 1'-0" N



3 BASEMENT KEY PLAN
1/16" = 1'-0" N

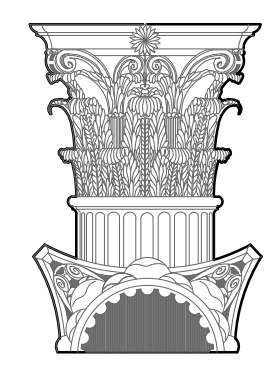
GLENCOE PUBLIC LIBRARY

**PUBLIC BATHROOMS RENOVATION PROJECT
CONSTRUCTION DOCUMENTS**



320 PARK AVENUE
PROJECT: 18018

GLENCOE, IL 60022
FEBRUARY 22, 2019



R. SCOTT JAVORE & ASSOCIATES, LTD.
ARCHITECTURE ■ HISTORIC PRESERVATION ■ NEW CONSTRUCTION

333 PARK AVENUE GLENCOE, IL 60022 847.835.4442 FAX 847.835.4044

CHK'D BY RSJ

DATE	2019-02-22
ISSUED FOR:	PERMIT & BID
REVISION	
GLENCOE PUBLIC LIBRARY 320 PARK AVENUE GLENCOE, IL 60022	
R. SCOTT JAVORE & ASSOCIATES, LTD. ARCHITECTURE ■ HISTORIC PRESERVATION ■ NEW CONSTRUCTION 333 PARK AVENUE GLENCOE, IL 60022 847.835.4442 FAX 847.835.4044	
COVER SHEET	KEY PLANS
DRAWN	MPM
CHECKED	RSJ
DATE	2019-02-22
PROJECT NO.	18018
SHEET NO.	A1